

DEERPATH FARM PATTERN BOOK

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**Pattern Book Revised
June 20th, 2006**

DEDICATION

This book is dedicated to **Edward Bennett, Jr.**, who as owner of Deerpath Farm, was one of the founding residents of the Village of Mettawa in 1950 and a founding board member of Lake Forest Open Lands in 1967. A well-known architect and philanthropist, he was committed to the improvement of his community through land conservation and the promotion of excellence in planning and architecture. Having played a vital role in the early planning of Deerpath Farm, his values and high standards continue to inform our choices.

November 2005



Deerpath Farm farmhouse, circa. 2000

What is a pattern book?

This pattern book is an invaluable resource for Deerpath Farm buyers, their architects, and builders. It uses text, drawings, and photos to express community goals and values, to inspire creative excellence, and to establish design guidelines.

In well-designed conservation developments across the country, pattern books have become an effective way of forming a solid community.

At Deerpath Farm the community consists of 41 houses and building sites, nearly all of them adjacent to parts of the 140-acre nature preserve. Adhering to these standards will not only benefit individual owners; it will benefit the entire community, as it assures the standard of excellence required of one property will be required of all properties.

This book equally and mutually serves all residents of Deerpath Farm.

CONTENTS

INTRODUCTION.....06

USE OF THIS BOOK.....07

QUICK VIEW.....08

SECTION I - SITE PLANNING

Lot Organization and Zoning.....13

Lot Development.....14

Landscape Architecture.....16

Building Footprints.....17

Adjacencies.....19

SECTION II - ARCHITECTURE

Architectural Vision.....22

Architectural Inspirations.....23

 Photographs.....24

 Work by Selected Architects.....30

Details and Materials

Eaves.....	34
Siding and Trim.....	36
Windows and Doors.....	38
Roofing	40
Use of Stone.....	42
Porches, Pergolas, and Decks.....	52

Additional Requirements.....	54
-------------------------------------	-----------

Colors.....	54
--------------------	-----------

SECTION III - REVIEW AND APPROVAL

APPROVED FIRMS.....	58
----------------------------	-----------

ADDITIONAL FIRMS.....	59
------------------------------	-----------

Plan Approval Process.....	60
-----------------------------------	-----------

REFERENCE

Appendix A - Approved Materials.....	62
---	-----------

Appendix B - Prohibited Materials and Details.....	63
---	-----------

Glossary.....	64
----------------------	-----------

Right to Amend.....	65
----------------------------	-----------

Addenda.....	66
---------------------	-----------

INTRODUCTION

History

In the 1930's Francis Farwell of Lake Forest sold Deerpath Farm, consisting of 200 acres, to his fellow townsman Edward Bennett. In those days the Farwells and Bennetts operated it as a working farm, providing unpasteurized dairy products to the local area from Ayrshire cows, and it remained so until the early eighties.

At that time the tenant farmer retired, and the current tenants, who help care for the property, moved into the farmhouse. Katharine Bennett, the daughter-in-law of Edward Bennett, and Deerpath Farm, LLC (managed by her son Frederick Phillips) are the owners of the property, which has been in the same family for almost 80 years.



Recently the owners made the decision to develop the property, instead of selling the land outright and forfeiting control of its future. In part this decision was influenced by the family's desire to see the property responsibly transformed, so many of its appealing features would be retained and most of the natural areas, consisting of mature woods, savannas, open fields, and wetlands, would be appropriately restored and maintained in perpetuity. To this end, in the early 2000s the owners formed Deerpath Farm LLC to develop the property. They established the following Planning Objectives.

Planning Objectives

To maintain the overall look and character of Deerpath Farm from Route 60 and from many vantage points within the property.

To conserve and maximize distant views and orientations from Route 60 and from many vantage points within the property.

To preserve and restore open spaces, wetlands, and the most sensitive of wooded areas.

To become an example to the region and to the country of how owners can responsibly, beautifully, and profitably transfer ownership, while preserving the majority of their land from future development.

To create, through landscaping and architectural guidelines, a superior standard of design excellence for sites and houses that will make Deerpath Farm unique in the community and the region.

To enjoy the process!

Deerpath Farm Today

After a thoughtful and detailed planning process, 13 federal, state, county, and village permits, and the professional involvement of an impressive list of conservation-based firms, Deerpath Farm consists of 41 buildable properties and 140 acres of permanently-protected open space including mature oak savannas, restored prairies, and wildlife-filled wetlands.

USE OF THIS BOOK

Finding Inspiration

Inspired by the natural beauty of the land, Deerpath Farm envisions landscapes and houses, which are **simple, honest, and in tune with nature**. We imagine an informal aesthetic, expressing its country setting, as opposed to the more formal and decorative architecture typically found in suburbia. (We talk about this further under ARCHITECTURAL VISION, page 22.) This distinction, carefully created, will set Deerpath Farm apart from its neighbors and give it increasing value over time.

The fifth Planning Objective of Deerpath Farm states that we wish to “create, through landscaping and architectural guidelines, a superior standard of design excellence for sites and houses that will make Deerpath Farm unique in the community and the region.”

By setting a superior standard, we intend to:

Add value to individual properties by ensuring consistent excellence.

Collectively benefit all residents by enhancing the quality and appearance of the entire community.

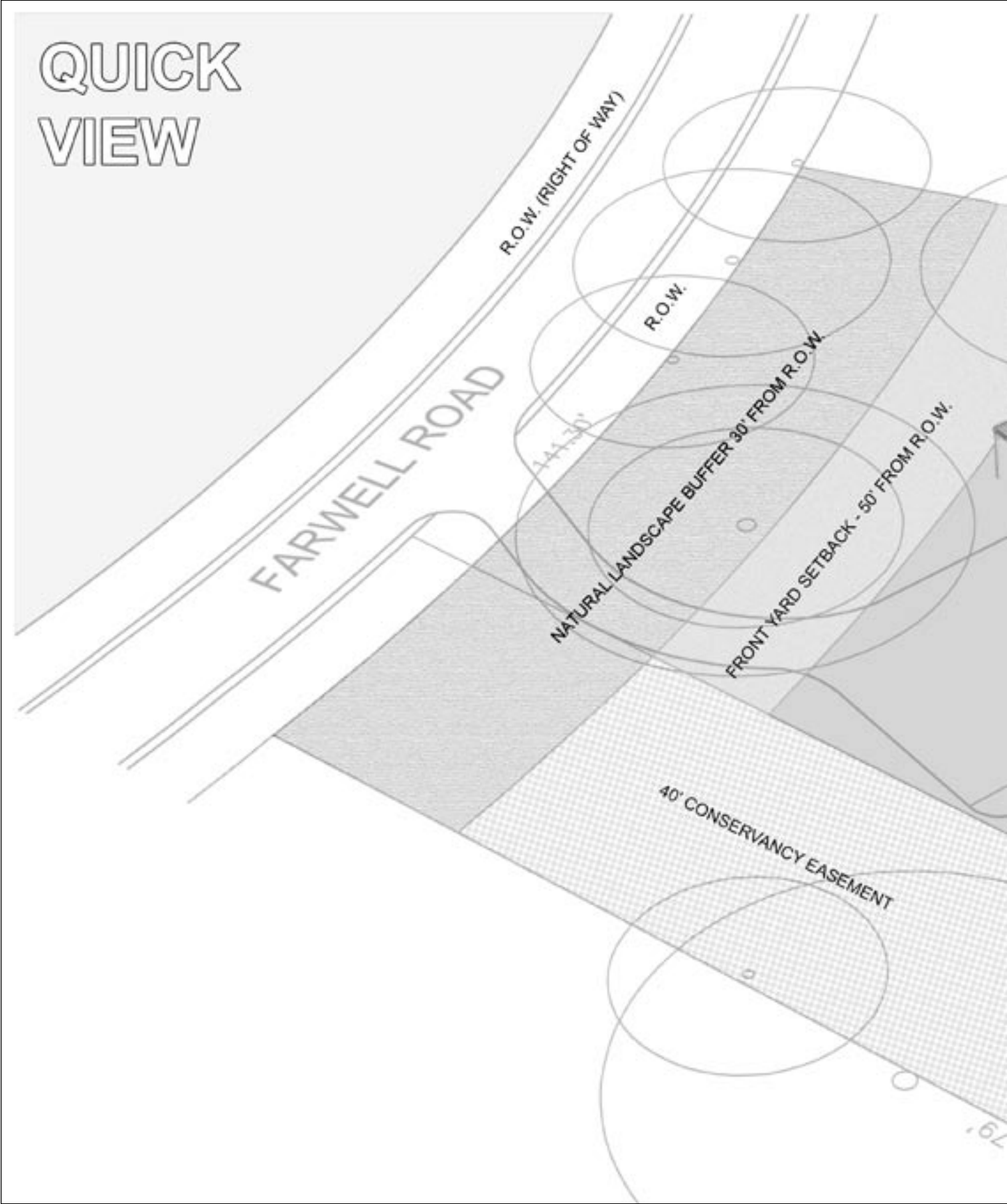
Benefit the region by restoring the almost totally lost rural aesthetic that was typical of the area before it became suburbanized.

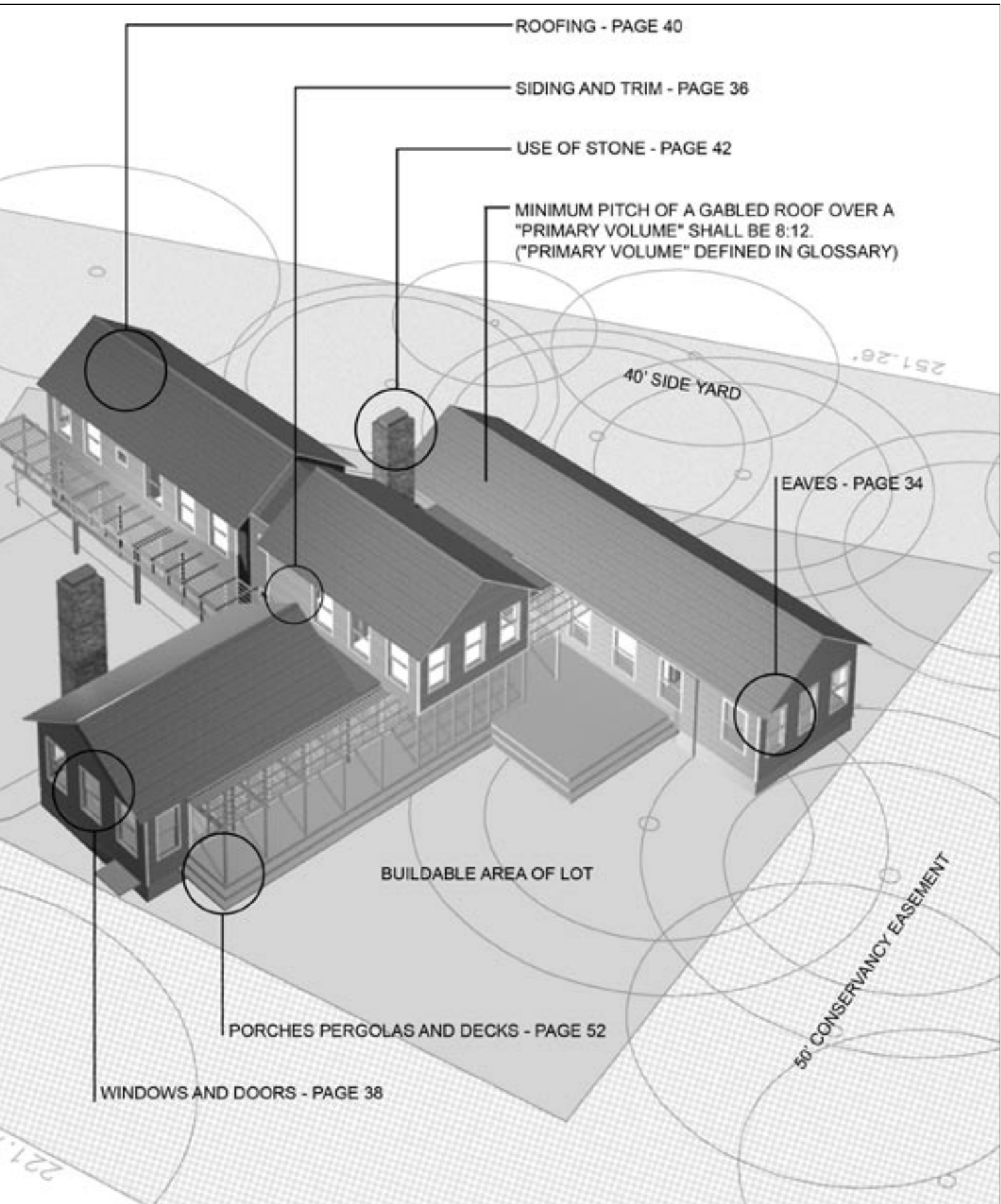
Finding Information

Following is a double page titled QUICK VIEW, a graphic identifier of this book’s essential ingredients. This page shows a typical lot with buildable area, setback lines, conservation easements, landscape buffers, and a typical house. On the house we target the DETAILS AND MATERIALS pages pertaining to the areas of the house addressed in the architectural guidelines. This is a handy tool for quickly finding information in the book.

Further on, the book is in three principal sections; SECTION I - SITE PLANNING; SECTION II - ARCHITECTURE; and SECTION III - REVIEW AND APPROVAL PROCEDURES. The CONTENTS show the details of each section.

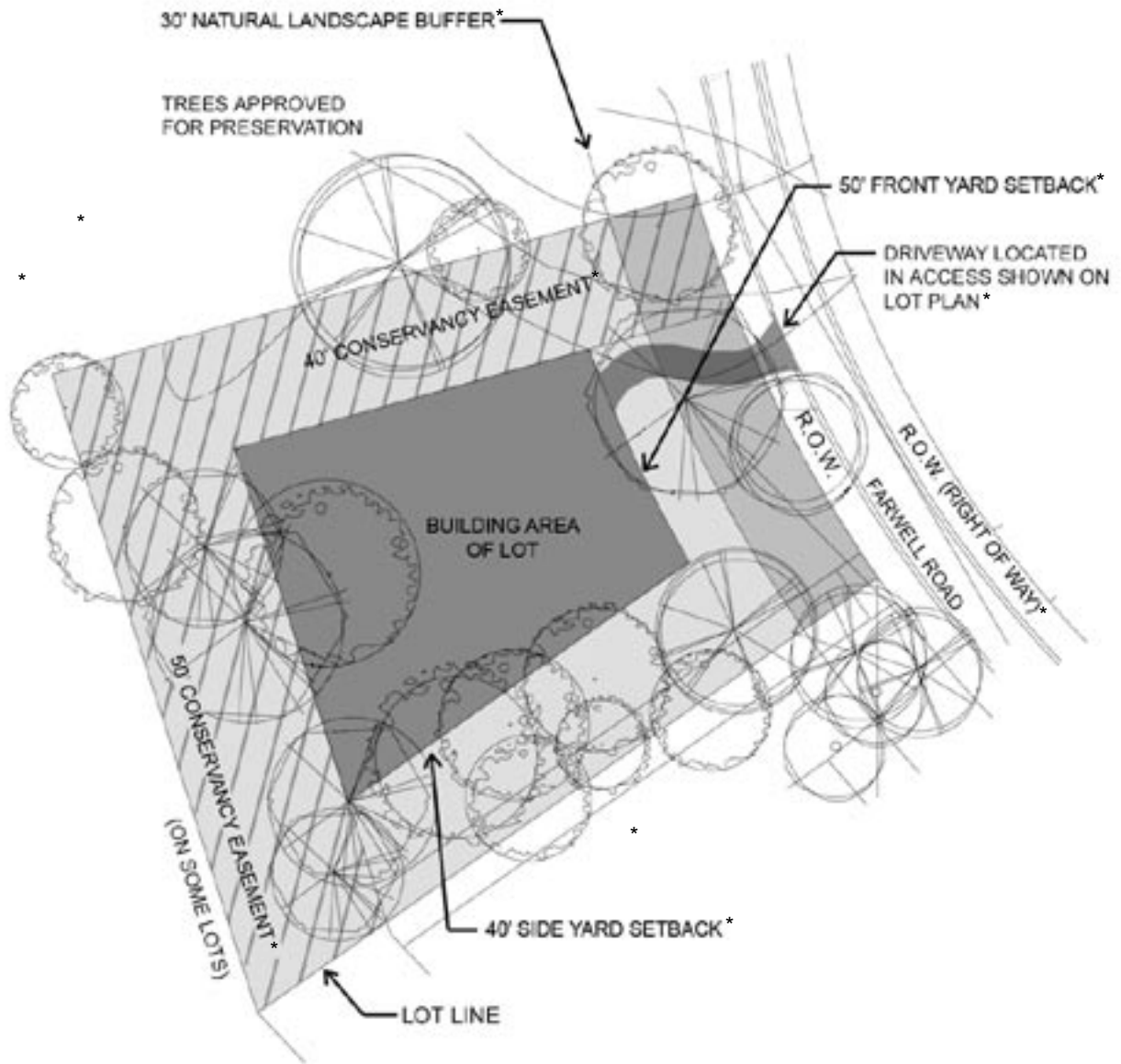
At the back of the book are three reference areas: APPENDIX A – APPROVED MATERIALS; APPENDIX B – PROHIBITED MATERIALS; and a GLOSSARY.





SECTION I – SITE PLANNING

LOT ORGANIZATION AND ZONING.....	13
LOT DEVELOPMENT.....	14
LANDSCAPE ARCHITECTURE.....	16
BUILDING FOOTPRINTS.....	17
ADJACENCIES.....	19



EXAMPLE: LOT 1 FOR TYPICAL LOT ORGANIZATION

* See page 66 for notes on changes made June 2006

LOT ORGANIZATION AND ZONING

Setback lines

No man-made structures shall be allowed beyond the building setback lines of each lot. The purpose of this provision is to protect views of the open space for **all** residents and to preserve the conservancy areas that border individual lots and the common open space.

Maximum Floor Area

The maximum allowable floor area, measured to the outside of exterior walls, shall be not more than 11% of lot area. Floor area shall be defined as enclosed heated space measured to the outside of exterior walls, not including an 850 square foot allowance for a garage and not including basements and cellars. Any area over 850 square feet in the garage shall be counted as allowable square feet. Any unused portion of the garage allowance may be added to the allowable floor area, as long as it is built on the first floor only.

Any basement half-level or more above grade on any side of a house shall be considered in its totality allowable floor area. (See the Glossary, page 56, for a definition of Floor Area, Basement, and Cellar.)

Maximum Building Height

The Maximum allowable building height is 40 feet from grade measured from the highest point of grade in contact with the exterior of the house (after backfilling) to the highest point of the outside of the roof. (See the Glossary, page 64, for definitions of Building Height and Grade.)

Massing

No volume shall exceed 21 feet (out to out) in the narrow dimension and no two-story volume shall exceed 44 feet* (out to out) in the long dimension without a break in the wall plane. A break in the wall plane shall be defined as being at least three feet, four inches deep, three feet, four inches wide and running continuously from grade to eave. Roof overhangs and chimneys may occur beyond these limitations. (See the Glossary, page 64, for a definition of "Break in the Wall Plane.")

* See page 66 for notes on changes made June 2006

LOT DEVELOPMENT*

General

The purpose of site planning and landscape guidelines are to encourage site-responsive and environmentally sensitive design in keeping with the Deerpath Farm design philosophy. Stephen Christy-Landscape Architect, has been involved with Deerpath Farm from the beginning with respect to the preservation of land, the restoration of natural drainage and wetlands, and the creation of landscape buffers to minimize the impact of construction. He offers his services to buyers from the early stages of site planning and design to the completion of fully-landscaped sites. Other landscape architects, if proposed, will be subject to the review and approval process described in “ADDITIONAL FIRMS,” page 59.

Trees *

All building sites contain outstanding, century-old hardwood trees worthy of saving. The ARB requires that all buyers walk their sites with an ARB-appointed arborist or Stephen Christy to determine, **before the commencement of design**, which trees shall be saved and which areas shall be left unbuilt for minimum disturbance of the larger landscape. Our recommended footprint configurations (later in this section) are designed, in part, to allow plans to work around the trees.

Entry Courts

To minimize the environmental impact of driveways, the ARB recommends driveway entry courts that combine drop-off, turn-around, **and** garage entries. Side-loaded and rear-loaded garages, concealing garage doors, are discouraged to reduce the size of driveways and to allow conservancy areas beyond building setback lines to remain undisturbed. To reduce the relative scale of garage doors and to soften their appearance, the ARB recommends pergolas or other features, such as the one designed for Lot One, 26403 North Farwell Road, which stands in front of the garage doors and leads the eye to the front door. In keeping with this aesthetic, the maximum width and height of garage doors shall be 9 feet. Recommended driveway surfacing includes gravel, stone pavers, stabilized aggregate or “oil and chip”. Asphalt is discouraged. The Driveway ‘lip’ may be of different material, however pillars, entry gates, or other decorative curb side treatments are discouraged.*

Exterior Lighting

For the benefit of **all** residents of Deerpath Farm, exterior lighting is thoughtfully regulated and its requirements will be strictly enforced. To protect neighbors from excessive illumination the ARB requires that all exterior lighting be only from incandescent A-19 bulbs not greater than 60 watts and that all exterior lighting plans be thoroughly reviewed and examined by the ARB prior to approval of the plans. Metal halide, mercury vapor, high- or low-pressure sodium, fluorescent, LED, and fiber optic lighting are prohibited. No flood lights shall be permitted except those illuminated only by a temporarily activated alarm connected to a residential security system.

The ARB will provide a brochure with an adequate selection of exterior fixtures from which buyers will make choices. Other fixtures will not be considered.

The purpose of these restrictions is to provide adequate but soft light in a quiet rural setting similar to the one that prevailed in the days when the area consisted mostly of farms. The ARB and all residents of Deerpath Farm have a mutual interest in enforcing these restrictions.

* See page 66 for notes on changes made June 2006

Exterior Service Areas

For the benefit of all residents and visitors of Deerpath Farm, the areas necessary for the operation and maintenance of houses shall be thoughtfully addressed. Air conditioning compressors and trash cans must be screened from the adjacent properties and streets. No above-ground fuel tanks are allowed. All utility lines must be underground. Exterior incinerators, television antennas, radio receivers or transmitters shall not be installed on the property. No truck, van, trailer, recreational vehicle, boat, or other similar vehicle may be maintained, stored, or kept on the property unless enclosed in the garage. Dish antennas 18" or smaller may be installed subject to ARB approval.

Mailboxes

All mailboxes will be built according to plans and specifications supplied by Deerpath Farm.

Address Numbers

All address numbers and plaques will be built according to plans and specifications supplied by Deerpath Farm.

Temporary Signage

All signs shall be built according to plans and specifications supplied by Deerpath Farm.

LANDSCAPE ARCHITECTURE *

Nearly 140 of the 200 acres of Deerpath Farm have been preserved as permanent open space for the enjoyment of the residents. This open space is protected under a conservation easement to the Lake Forest Open Lands Association, which will manage and maintain these lands as native landscapes.

Due to its long-term single ownership and some excellent past land management practices, Deerpath Farm is considered one of the best natural areas in the region. The developed portion of Deerpath Farm has been carefully crafted with extremely detailed planning, engineering, and installation of all improvements. Great care has been taken to lay out the lots in an attractive manner which also protects the trees and native landscape on them.

As with the houses, the landscape architecture at Deerpath Farm should be sympathetic to the larger, natural landscape and be **simple, honest, and in tune with nature**. Accordingly, all site development and planting designs should:

- show a familiarity with the native landscape of the area and largely reflect the use of native plants
- reflect an understanding of the hydrology of oak woodlands and the inevitable impact that house construction and landscaping will create, and be able to mitigate for this impact as much as possible
- endeavor to use hardscape materials (rocks, gravel, etc.) from local sources, reducing fuel and energy costs for transportation and delivery
- show familiarity with the use of rain gardens and other water recycling options
- show awareness of the parameters and management of the conservation easements, all under the supervision of Lake Forest Open Lands, and the natural landscape buffer that each lot has along the street
- understand the use of minimal lawn on the lots (including the use of fescue mixes for a woodland turf); underground sprinkling systems are prohibited
- understand that there is minimal, if any, use of fences, evergreens, and other traditional screening devices
- promote the use of rural driveway materials such as gravel, oil/chip, stone pavers and the like (asphalt discouraged; no stamped concrete or concrete brick)

The landscape architecture should present an esthetic which is informal and expressive of its country setting.

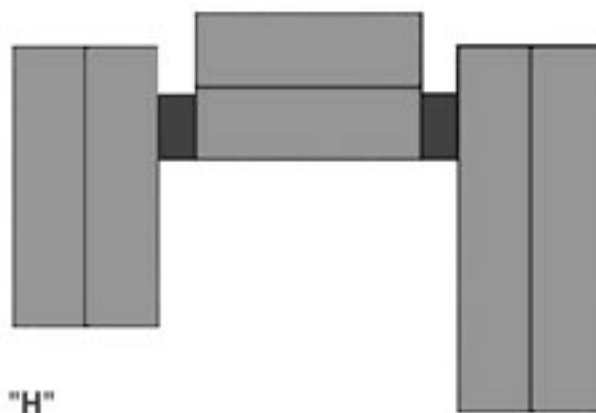
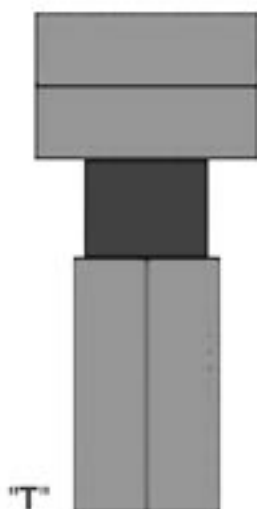
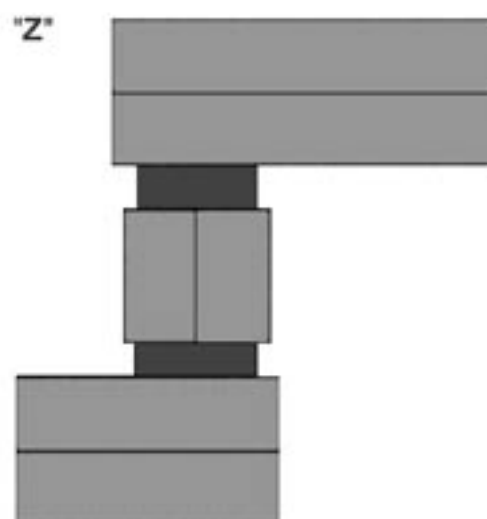
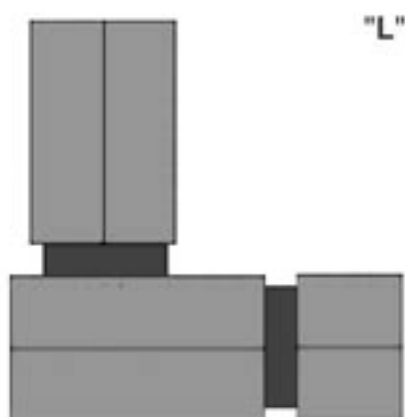
* See page 66 for notes on changes made June 2006

BUILDING FOOTPRINTS

The ARB requires that architects approach the layout of houses with the following objectives:

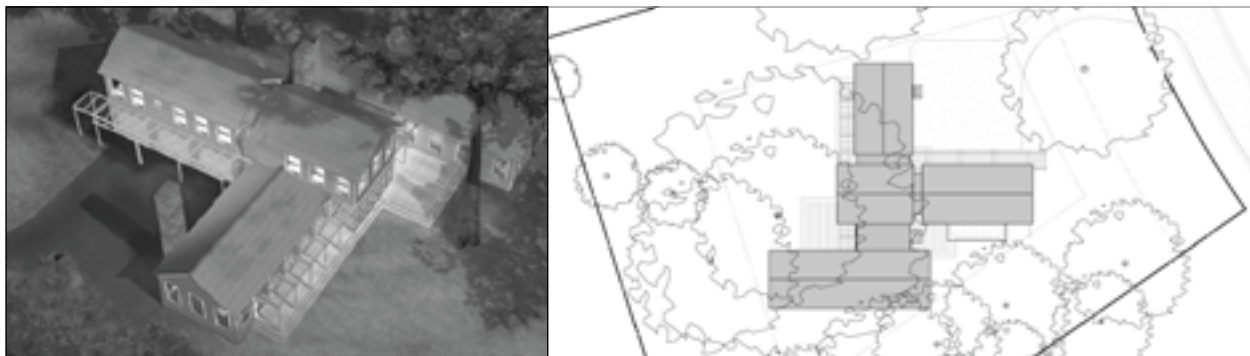
- Maximize views and ventilation
- Save trees
- Create outdoor living spaces
- Enhance the landscape through the separation of volumes

Architects can promote these objectives by considering houses as a series of connected pavilions with an emphasis on linear forms, as opposed to “boxes” that are wide in all directions. Shown on pages 17 and 18 are diagrams of exemplary footprints, site plans, and photographs of built houses that accomplish these objectives. The ARB encourages variety in the configuration of separated volumes with the following limitations designed to assure sensitivity to the landscape and maximization of site opportunities. **We encourage plans that reach into the landscape and take full advantage of light, views, and ventilation.**

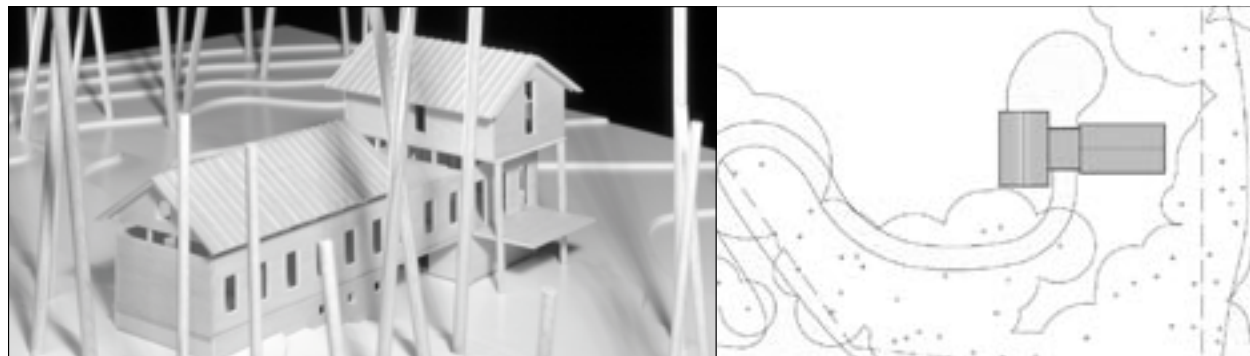


Footprint - Examples

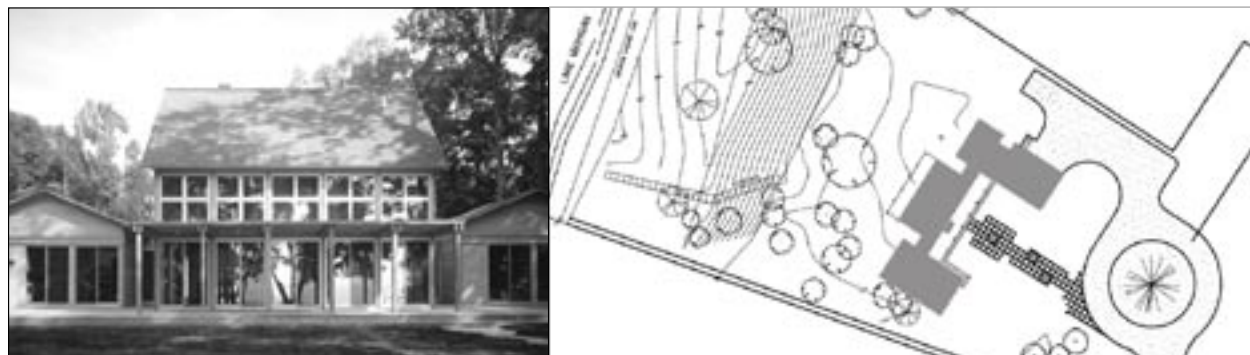
VARIATION ON “Z”



VARIATION ON “T”



VARIATION ON “H”

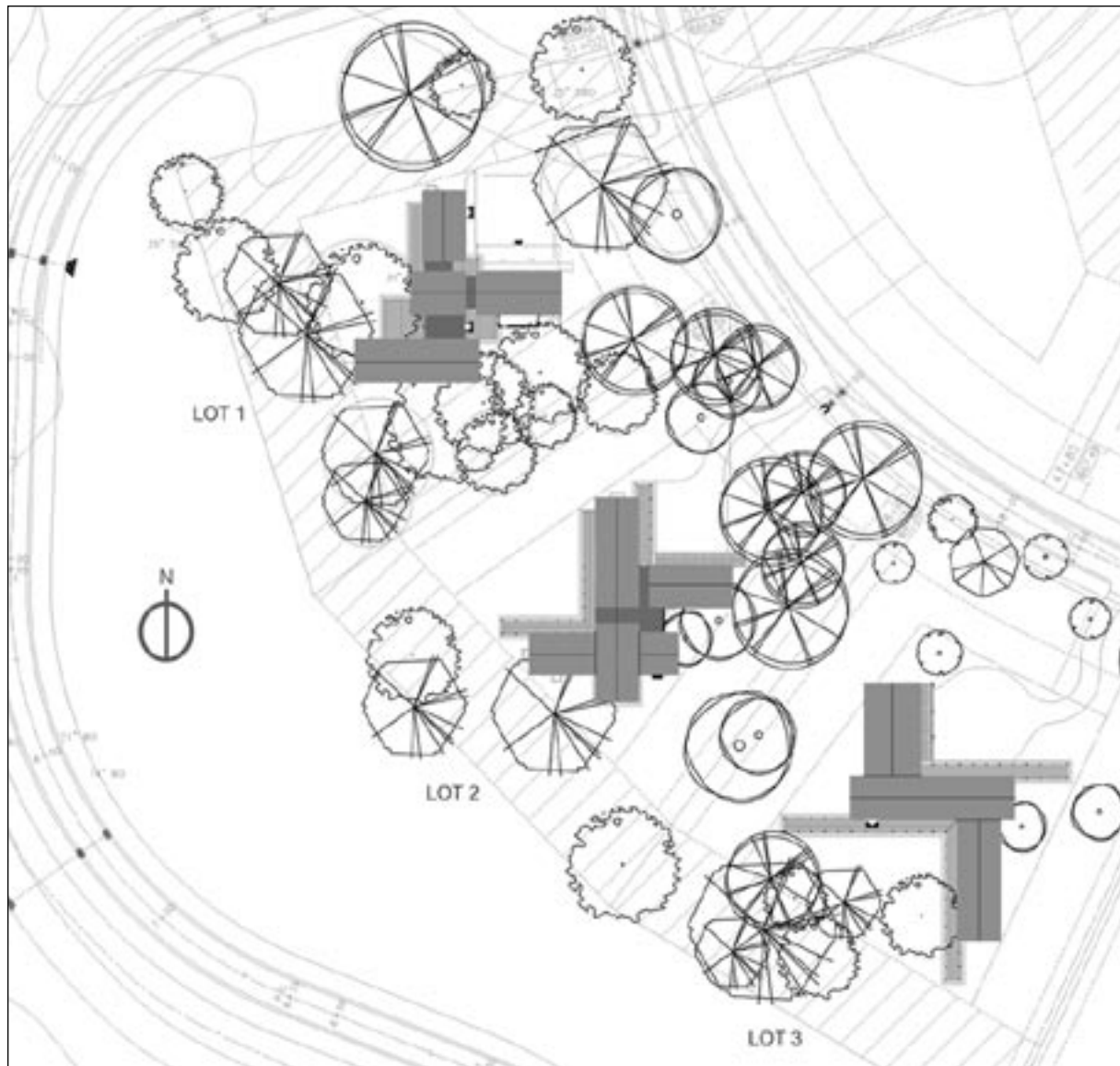


VARIATION ON “L”



ADJACENCIES

Along with the site sensitivity of building footprints, architects should give the same consideration to the relationship of new designs to both present or future houses on adjacent lots. In the image below, we have shown the relationship of the house on Lot 1 to future possible houses on Lots 2 and 3. As seen on this plan, all views on all sides of each house bypass adjacent houses by maintaining the orthogonal (right angles) on the north-south and east-west axis. Planning houses according to the north-south, east-west compass points has a strong precedent in farms throughout the Midwest. Because topographical features such as hills and valleys were not common to this area, the most predominant feature of the landscape was the grid of roads, laid out on one-mile intervals. This grid, adhering to the north-south and east-west axis, became the point of departure for the layout of the farm complexes throughout the entire Midwest. Respect of these axial antecedents reinforces the direct functional benefit to the community in maintaining privacy and views.



SECTION II – ARCHITECTURE

ARCHITECTURAL VISION.....	22
ARCHITECTURAL INSPIRATIONS.....	23
Photographs.....	24
Work by Selected Architects.....	30
DETAILS AND MATERIALS	
Eaves.....	34
Siding and Trim.....	36
Windows and Doors.....	38
Roofing.....	40
Use of Stone	42
Porches, Pergolas, and Decks.....	52
ADDITIONAL REQUIREMENTS.....	54
COLORS.....	54

ARCHITECTURAL VISION

As stated in the **Planning Objectives**, page 6, and **Finding Inspiration**, page 7, the fifth Planning Objective of Deerpath Farm is to create, *“through landscaping and architectural guidelines, a superior standard of design excellence for sites and houses that will make Deerpath Farm unique in the community and the region.”*

We also say in **Finding Inspirations**: *“Inspired by the natural beauty of the land, Deerpath Farm envisions landscapes and houses which are simple, honest, and in tune with nature. We imagine an aesthetic which is informal and expressive of its country setting, as opposed to the more formal and decorative architecture typically found in suburbia. This distinction, carefully created, will set Deerpath Farm apart from other developments and give it increasing value over time.”*

Deerpath Farm is promoting an informal Midwestern aesthetic typical of this area for over a century, rather than the so-called neo-styles such as Georgian, English Tudor, or French Country now typical of suburban sprawl. In the middle of the nineteenth century when the area consisted mainly of farms, the prevailing aesthetic was that of the practical farmhouse and outbuildings. The outbuildings consisted of barns and more abstract forms such as silos, corn cribs, and sheds which, together with the houses, formed villages of structures that helped define exterior space and gave a sense of community on the farm. This aesthetic remained largely intact until the last third of the 20th century when rapid suburban growth began to radically alter the landscape. Deerpath Farm seeks to return a portion of that long-lost aesthetic to a property fortunate enough to have preserved a large amount of its farmland.

ARCHITECTURAL INSPIRATIONS

The wood frame farmhouses, schools, barns, corn cribs and sheds, which once dotted much of this region's landscape, are an important point of departure for buildings at Deerpath Farm.

Many of the forms and details of these structures were dictated by climate, local materials and cultural traditions. Houses at Deerpath Farm will offer a contemporary response to considerations of climate, materials and form, taking lessons from these earlier vernacular structures.

PHOTOGRAPHS

Photographs by Paul Lurie and Frederick Phillips, on the following pages 24 through 29, are exemplary of this vernacular. In addition we highly recommend the book Abandonings, (Elliott and Clark, 1995) a compendium of photographs by Maxwell MacKenzie of rural buildings and landscapes from the place of his ancestral and childhood beginnings: Otter Tail County, Minnesota.

WORK BY SELECTED ARCHITECTS

Selected works from the portfolios of our four recommended architects show how these agrarian forms, colors and textures might be translated into houses. This work is shown following the photos of Lurie and Phillips, pages 30 through 33.

In addition to the above, Deerpath Farm invites architects to look to the land for inspirations, and to take into account the opportunity for long views, natural ventilation, and exciting exterior spaces. (See BUILDING FOOTPRINTS, pages 16 and 17) We encourage designers to re-examine time-tested formulas and tap their imaginations for new ideas that take special advantage of the site. **The land invites an architecture which looks beyond the typical suburban house for its inspirations. We encourage all to explore the full spectrum of possibilities.**

ARCHITECTURAL INSPIRATIONS - PHOTOGRAPHS



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Chicago Tribune Photo by Phil Gear



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ARCHITECTURAL INSPIRATIONS - WORK BY SELECTED ARCHITECTS

FREDERICK PHILLIPS, FAIA



Copyright 2004 William Kildow
(all photos this page)

JAMES NAGLE, FAIA



Copyright 2003 Bruce Van Inwegen



Copyright 2003 Bruce Van Inwegen



Copyright 2004 James Nagle



Copyright 2004 James Nagle



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ARCHITECTURAL INSPIRATIONS - WORK BY SELECTED ARCHITECTS

MARGARET McCURRY, FAIA



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DAVID WOODHOUSE, FAIA



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DETAILS AND MATERIALS - EAVES

Approved Materials and Elements

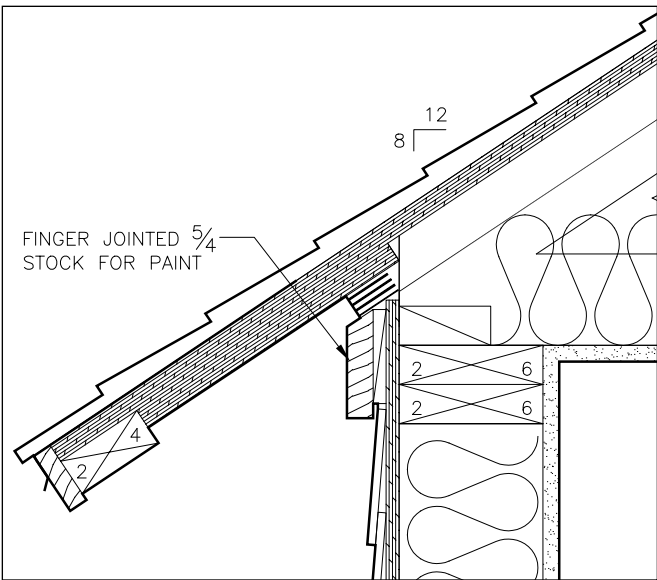
- Finger-jointed trim board (Windsor One), primed and painted
- Clear, heartwood, knotless Cedar or equiv. spec. in other weatherproof wood

Prohibited Materials and Elements

- Vinyl or aluminum soffits and trim
- Horizontal “porkchop” eaves and soffits



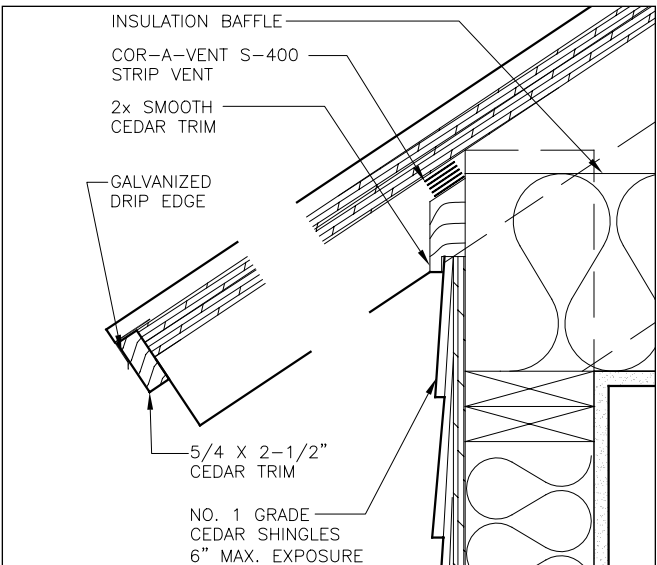
ALLOWED - DOUBLE PLYWOOD EAVE



ALLOWED - DOUBLE PLYWOOD EAVE



ALLOWED - EXPOSED RAFTER TAIL EAVE

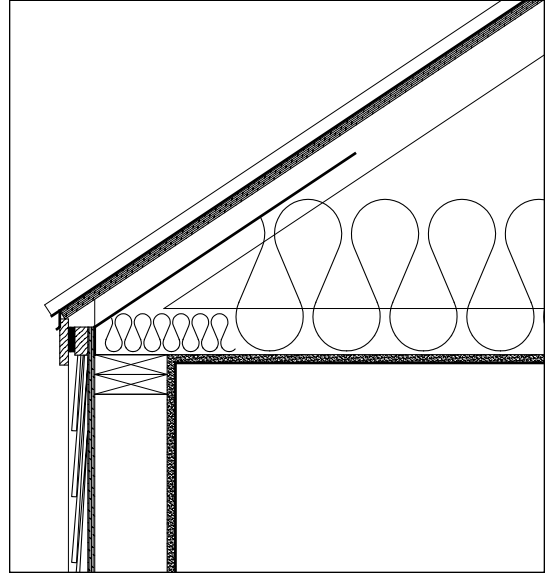


ALLOWED - EXPOSED RAFTER TAIL EAVE

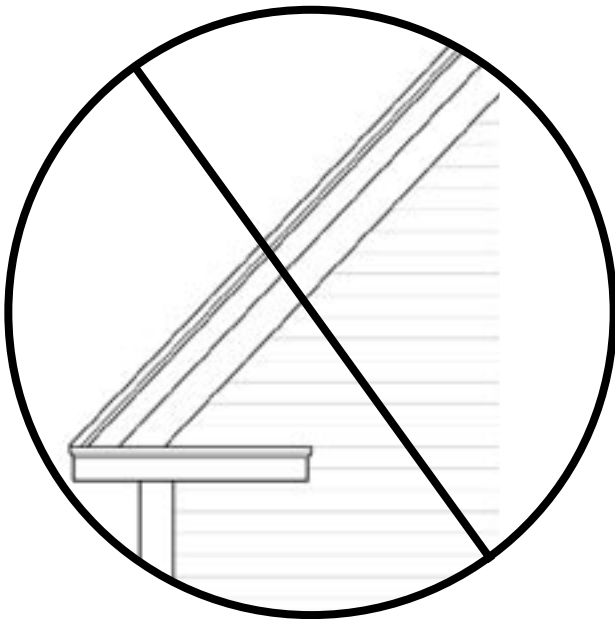


ALLOWED - FLUSH EAVE

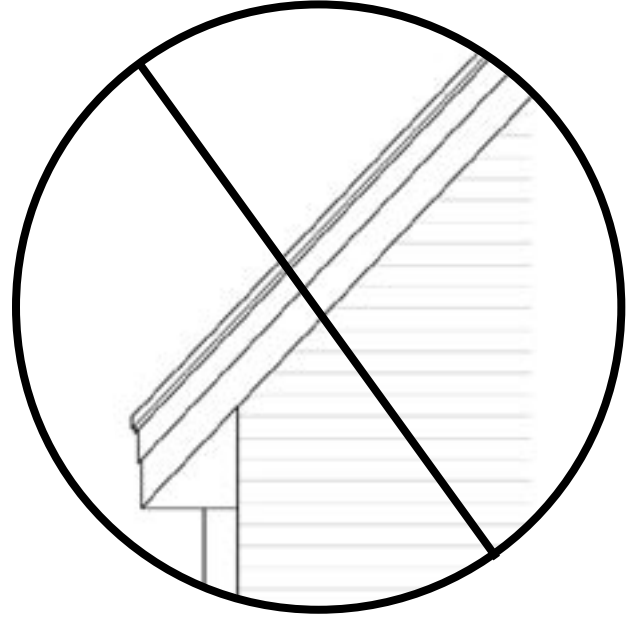
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ALLOWED - FLUSH EAVE



NOT ALLOWED - HORIZONTAL SOFFITS



NOT ALLOWED - HORIZONTAL SOFFITS

DETAILS AND MATERIALS - SIDING AND TRIM

Approved Materials and Elements

Siding

- Eastern White Grade A (extra) Cedar Shingles - 5" maximum exposure
- Hardiplank Lap Siding (smooth face only) - 4" maximum exposure
- Clear, heartwood, knotless Cedar or equivalent specification in other weatherproof wood
- Corrugated Galvalume or Cor-ten steel panel siding (min. 1" deep groove)

Trim

- Finger-jointed trim board (Windsor One) primed and painted
- Clear, heartwood, knotless Cedar or equivalent specification in other weatherproof wood

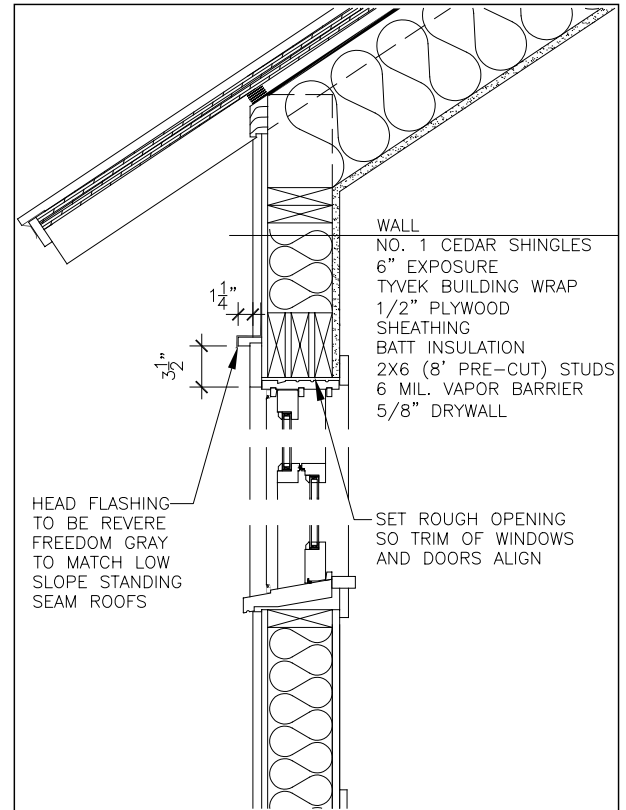
Prohibited Materials and Elements

Siding

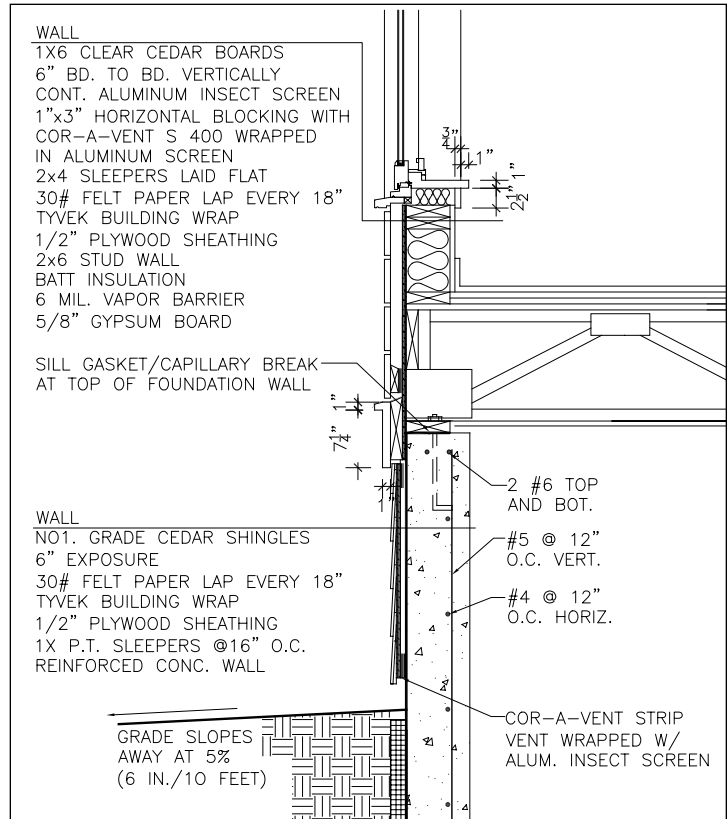
- Oversized cedar shakes
- Vinyl or aluminum siding
- EIFS plastic stucco systems, such as Dryvit or equivalent plastered stucco
- Brick on building walls

Trim

- Decorative trim, such as cornices, dentils, and crown mouldings (Square-edged trim, beaded board, and quarter rounds are appropriate where approved)



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DETAILS AND MATERIALS - WINDOWS AND DOORS

Approved Window/Door Companies

- Marvin, Pella, Loewen, Quantum, Duratherm, Zelluck

Approved Materials and Elements

- Weather-resistant wood, such as teak, mahogany, or cypress
- Primed wood for paint
- Clad aluminum

PATIO DOORS NO MUNTINS

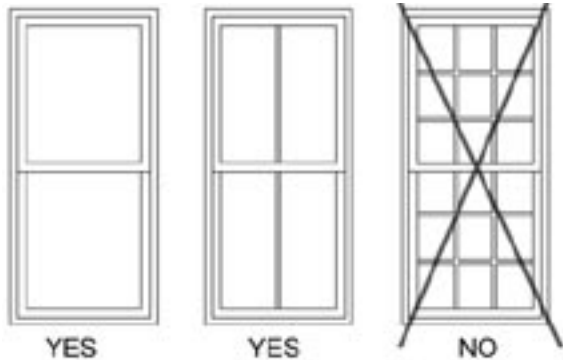


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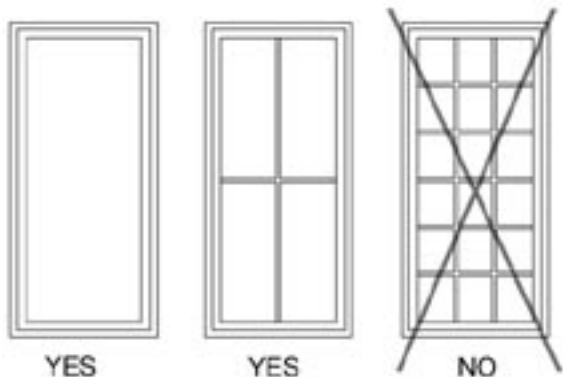
DOUBLE HUNG WINDOWS NO MUNTINS



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MUNTIN CONFIGURATIONS DOUBLE-HUNG WINDOWS



MUNTIN CONFIGURATIONS DOORS AND CASEMENT WINDOWS

* See page 66 for notes on changes made June 2006

Prohibited Materials and Elements

- Vinyl or vinyl clad windows and doors
- Vinyl or vinyl clad storm and screen windows and doors
- Shutters
- Circular windows
- Arched openings for doors or windows
- Beveled glass
- Raised panels on exterior doors

All exterior door panels shall be flat panels with square-edged stiles and rails

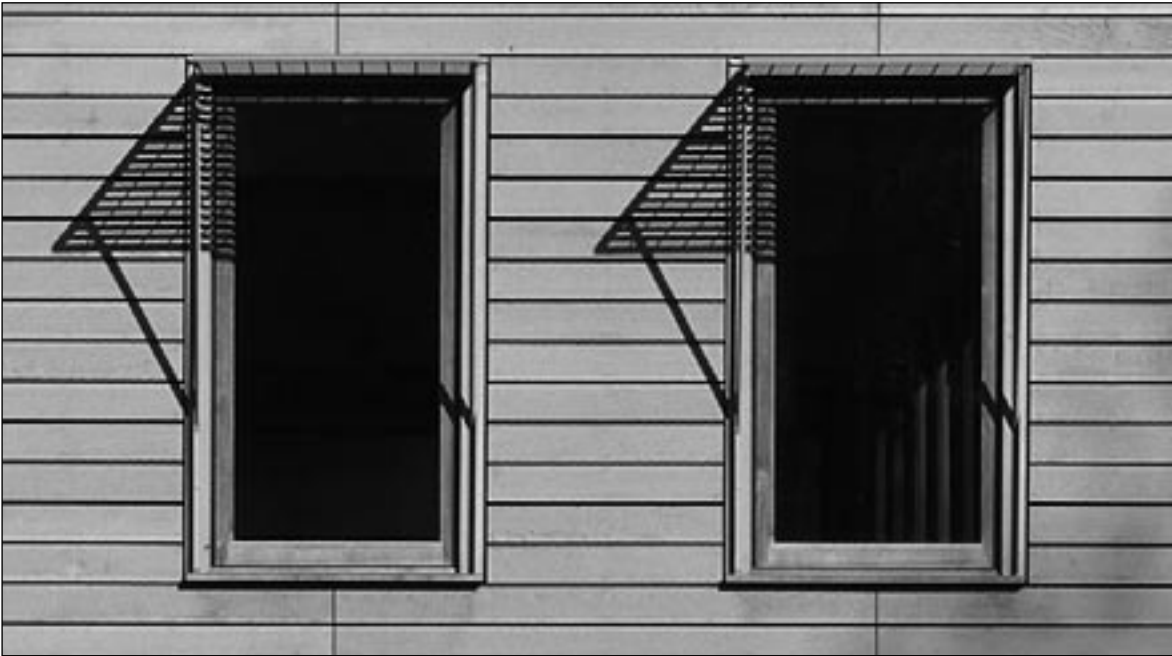
- Mirrored and tinted glass in windows and doors*
- Garage doors wider than 9 feet and taller than 9 feet*

CASEMENT WINDOWS - NO MUNTINS



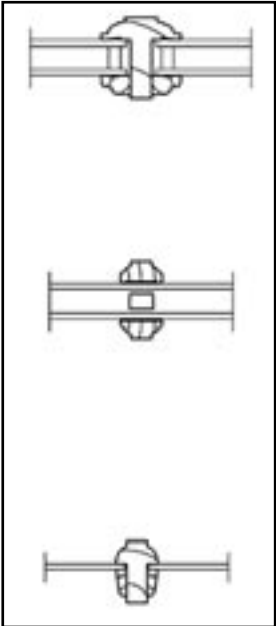
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CASEMENT WINDOWS - NO MUNTINS

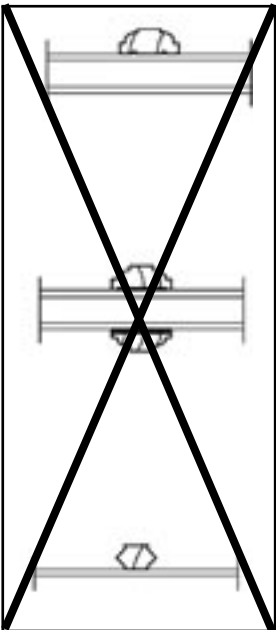


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MUNTINS



APPROVED



PROHIBITED

SLIDING DOORS - NO MUNTINS



Copyright 1997 Hedrich Blessing

DOUBLE HUNG WINDOWS - ONE VERTICAL MUNTIN



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DETAILS AND MATERIALS - ROOFING

Gabled roofs over “primary volumes” shall be no less than 8:12 pitch

Maximum height from grade to the outside top of a roof peak shall be no more than 40 feet

Approved Materials and Elements

- “5x” or “Perfection” #1 Blue Label Western Red Cedar Shingle (5 1/2” maximum exposure)
- Z-T alloy copper standing seam roof by Revere (Freedom Grey) or equivalent
- Galvalume standing seam, snap-lock panel, or corrugated (min. 1” deep profile) panel roofing
- Slate shingle

Prohibited Materials and Elements

- Shallow gabled roofs over “primary volumes” pitch. (gables over primary volumes shall be a minimum 8:12 pitch)
- Any non-symmetrical gables. All gabled roofs shall be symmetrical about the peak on the end condition.*
- Oversized cedar shakes
- Colors on roofs other than those natural to the material
Example: Z-T alloy copper roofs shall be a silver grey
Perfection cedar roofs shall be a weathered grey
- Gutters and downspouts over areas other than points of entry to residence, decks, and patios and special cases where water volume is excessive.*
- Roofs shall drain to a continuous gravel drainage bed - and/or to a perforated PVC drain tile.

Z-T alloy copper standing seam



Copyright 2004 Frederick Phillips

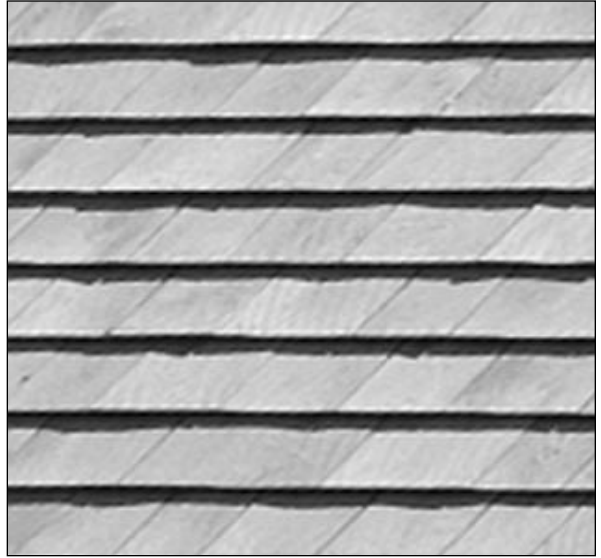
* See page 66 for notes on changes made June 2006

Corrugated Galvalume panel (min. 1" deep groove)



Copyright 1989 Gregory Murphey

"Perfection" #1 Blue Label Western Red Cedar Shingle



Standing seam Galvalume snap-lock panel



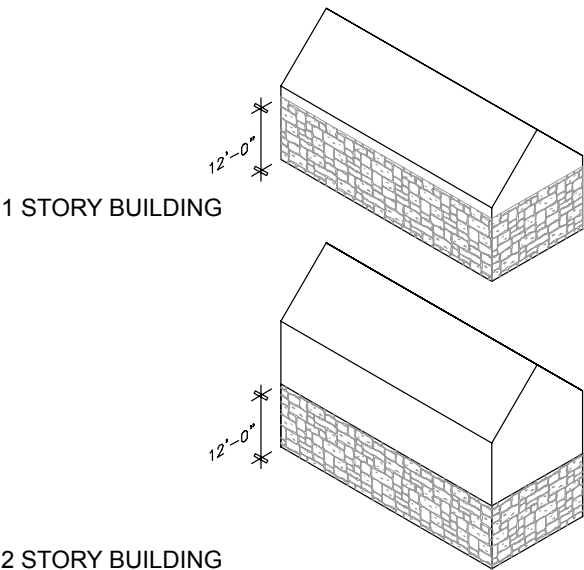
Copyright 2000 Gregory Murphey

DETAILS AND MATERIALS - USE OF STONE

APPROVED STONE APPLICATIONS

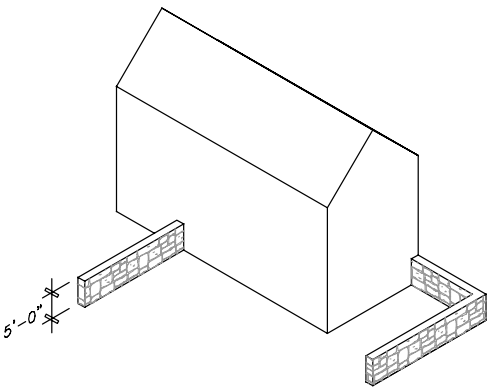
Stone Building Walls

The height of stone on any building wall shall never exceed 12'-0" from finish grade and the boundary between stone and the material above it shall always be an even unbroken horizontal line.



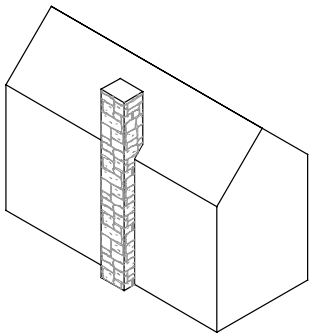
Stone Garden Walls

Stone used as garden walls shall not exceed a height of 5'-0" from finish grade.



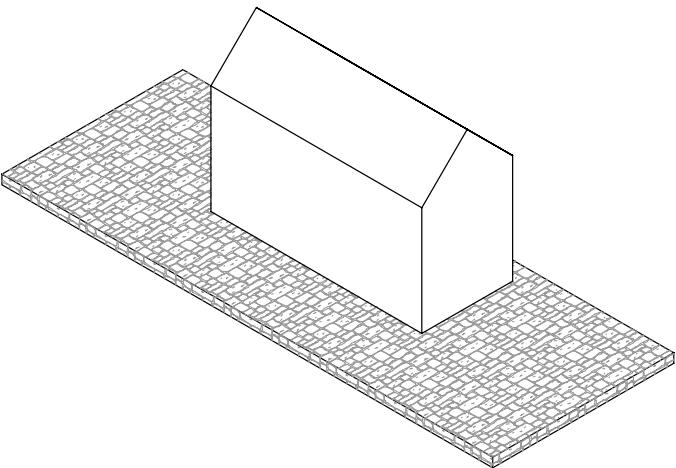
Stone Chimneys

Stone on chimneys shall never exceed 5'-4" in width and depth, and the chimney shall not vary in width and depth for the duration of its entire height.

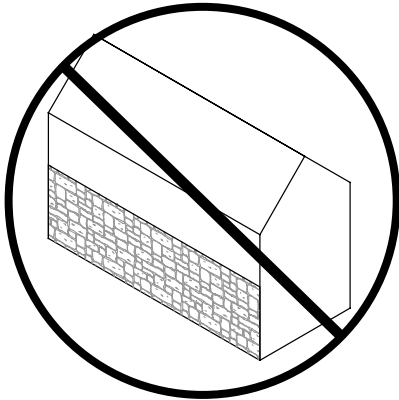


Stone Terraces

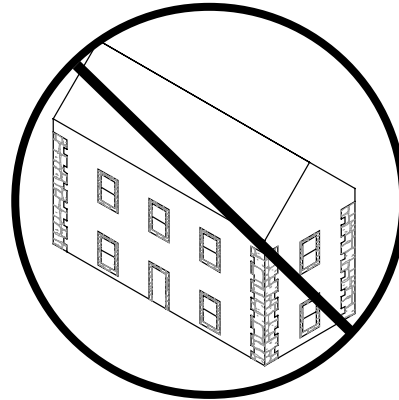
Stone on terraces shall be low enough from finish grade to preclude the use of railings required by code or for safety reasons.



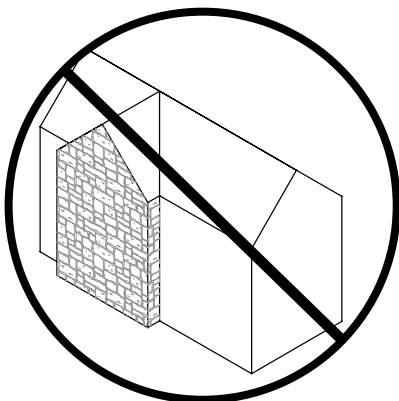
PROHIBITED STONE APPLICATIONS



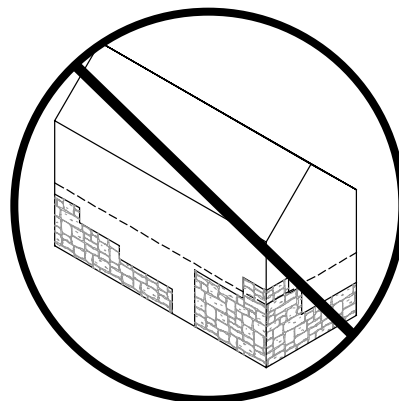
Stone used on one face only.



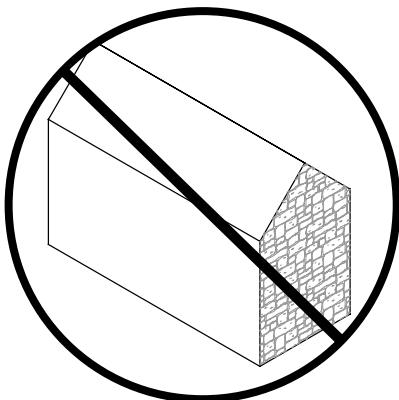
Stone used as quoining or window/door trim.



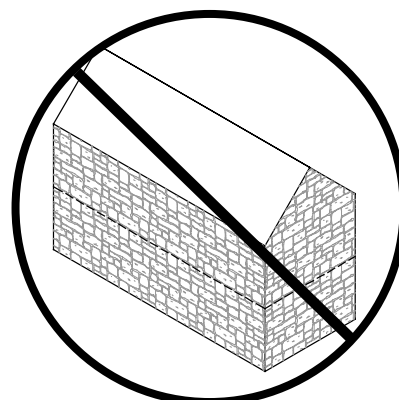
Stone used on one portion only.



Boundary between stone and material above is not an even unbroken horizontal line.



Stone used on end gable only.



Stone used above 12'-0"

DETAILS AND MATERIALS - USE OF STONE

EXAMPLES OF APPROVED STONE APPLICATIONS

Examples of Approved Stone Building Walls (Height Limited to 12'-0" Above Grade). See figures 1-5.

1



Kevin Rasmussen Architects
www.rasmussen-pc.com

2



Guenther Architects
Photographer - D. Alec

3



Frank Lloyd Wright
Photographer - Simon Glynn

4



Louis Kahn *In The Realm of Architecture*
Photographer - Grant Mudford

5



Bohlin Cywinski Jackson
Photographer - Michael Thomas

DETAILS AND MATERIALS - USE OF STONE

EXAMPLES OF APPROVED STONE APPLICATIONS

Examples of Approved Stone Garden Walls (Height Limited to 5'-0" Above Grade). See figures 6-8.

6



Cutler Anderson Architects
Photographer - Art Grice

7



Bohlin Cywinski Jackson
Photographer - Michael Thomas

8



Bohlin Cywinski Jackson
Photographer - Michael Thomas

Examples of Approved Stone Chimneys. See figures 9-12.

9



Cutler Anderson Architects
Photographer - Art Grice

10 Pennsylvania Field Stone



Copyright 2004 William Kildow

11 Ledge Stone



Copyright 2004 Frederick Phillips

12



Copyright 2000 William Kildow

DETAILS AND MATERIALS - USE OF STONE

EXAMPLES OF PROHIBITED STONE APPLICATIONS

Prohibited:
Stone that is higher than 12'-0" and stone that does not wrap all sides of the building, as shown in figures 1-5.

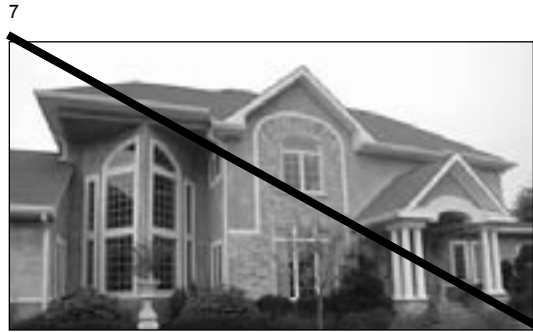


Prohibited:
Stone used where the boundary between stone and the material above it is not an even unbroken horizontal line, as shown in figure 6.



Prohibited:

Stone that is higher than 12'-0" and stone where the boundary between it and the material above is not an even unbroken horizontal line, as shown in figures 7-11.

**Prohibited:**

Stone that is used as a column base, as shown in figure 12.



DETAILS AND MATERIALS - USE OF STONE

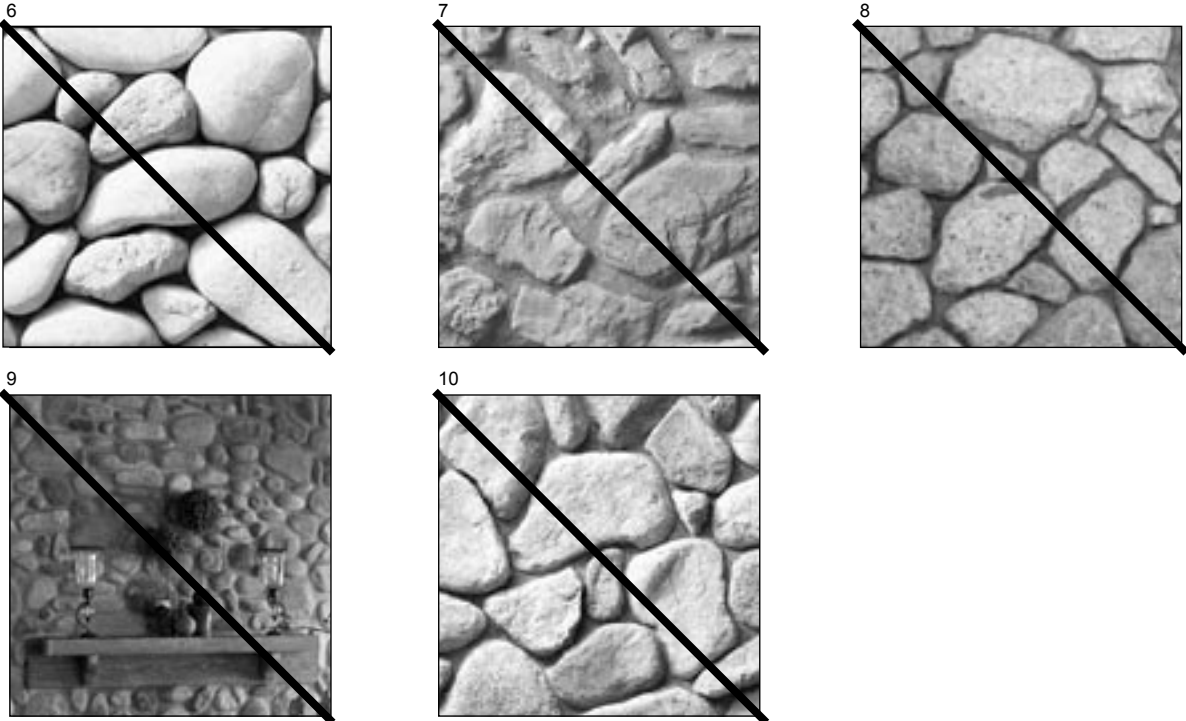
Approved Stone and Stone Patterns

Stone shall be flat-faced and square-edged to allow for thin mortar joints. See figures 1-5.



Prohibited Stone and Stone Patterns

Rounded stone such as river rock and irregular shapes that lead to wide and uneven mortar joints are prohibited. This also includes imitation stone products such as “Cultured Stone” by Owens Corning. See figures 6-10.



Stone Use Summary

- The ARB shall review all stone designs, stone and mortar specifications, and patterning and joint configurations, prior to Concept Plan Approval
- The height of stone on any building wall shall never exceed 12'-0" from finish grade and the boundary between stone and the material above it shall always be an even unbroken horizontal line
- Stone used as garden walls shall not exceed a height of 5'-0" from finish grade
- Stone on chimneys shall never exceed 5'-4" in width and depth, and the chimney shall not vary in width and depth for the duration of its entire height
- Stone on terraces shall be low enough from finish grade to preclude the use of railings required by code or for safety reasons
- Stone or concrete chimney caps shall not exceed a thickness of 2-1/4 inches and shall overhang the face of the wall by a minimum of 2"
- Stone veneers shall wrap all sides of a building. Partial veneers, stone trim, quoining and book-ending are prohibited
- Stone shall be flat faced and square edged to allow for thin tight mortar joints, as shown in figures 1-5, page 50
- Rounded stone such as river rock and irregular shapes that lead to wide and uneven mortar joints are prohibited, as shown in figures 6-10, page 50
- Imitation stone products such as "Cultured Stone" by Owens Corning are prohibited
- Stone shall be a minimum of 4" nominal depth
- Cavity walls must include a minimum of 1-1/2" airspace with a cavity drainage system and shall be anchored with 9 gage adjustable wire ties (corrugated prohibited). Submit details to ARB for approval

DETAILS AND MATERIALS - PORCHES, PERGOLAS AND DECKS

Approved Materials and Elements

- Alaskan Yellow Cedar for decking
- Cedar for decking
- Trex for decking
- Eastern White Grade A (extra) Cedar Shingles-
5" maximum exposure as siding
- Hardiplank Lap Siding (smooth face only)-
4" maximum exposure
- Clear, heartwood, knotless Cedar or equivalent
specification in other weatherproof wood as trim and siding
- Finger-jointed trim board (Windsor One),
primed and painted

Prohibited Materials and Elements

- Circular columns
- Columns with decorated capitols and bases
- Raised panels on doors or walls
- Exterior railings on decks. (All decks shall be close
enough to grade to preclude the code-mandated need
for railings)
- Flood lights, except those illuminated only by temporarily
activated alarm connected to a residential security system
- Decorative trim, such as cornices dentils and
crown mouldings
- Oversized cedar shakes
- Vinyl or aluminum siding
- EIFS plastic stucco systems, such as Dryvit
or equivalent
- Plastered stucco
- Brick on building walls
- Arches
- Decorative trim, such as cornices, dentils,
and crown mouldings. (Square-edged trim, beaded
board, and quarter rounds, where appropriate,
are approved)

No railing



Copyright 2000 William Kildow

No railing



Copyright 1989 Gregory Murphey

No railing



Copyright 1997 Hedrich Blessing

Covered passage



Copyright 1989 Gregory Murphey

Steps



Copyright 2004 William Kildow

ADDITIONAL REQUIREMENTS

As stated in **Massing** under LOT ORGANIZATION AND ZONING, no two-story volume shall exceed 21 feet (out to out) in the narrow dimension and 44 feet* (out to out) in the long dimension without a break in the wall plane. A break in the wall plane shall be defined as being at least three feet, four inches deep, three feet, four inches wide and running continuously from grade to eave. (See section titled BUILDING FOOTPRINTS, page 16, for an explanation, and see GLOSSARY, page 64, for a definition of "Break in the Wall Plane.")

All houses at Deerpath Farm shall be sprinklered for fire protection in accordance with the requirements of the building code of the Village of Mettawa.

The design guidelines prohibit the use of skylights except in rare cases where windows are not possible for natural light. The ARB will closely review specific requests for skylights. *

Minimum pitch of a gabled roof over a primary volume shall be 8:12, and gables shall be symmetrical about the peak on the end condition.*

Plumbing and other vents shall be located in the least conspicuous areas of roofs. The ARB must approve all locations.

Gutters and downspouts are prohibited except at entry areas to the house or above decks and patios. Roofs will drain to continuous gravel beds around the perimeter of the house.

Maximum building height to the tallest point of roof shall be 40 feet from grade.

COLORS

Following our credo "simple, honest, and in tune with nature," the natural landscape at Deerpath Farm is the inspiration for the colors we provide for your selection. Warm weathered greys, faded reds, and cream whites take precedence over varnished woods, blues, and blue-greys. We favor faded colors and warm tones to bright colors and cool tones. The **Deerpath Farm Color Palette** is available through the ARB.

* See page 66 for notes on changes made June 2006



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SECTION III – REVIEW AND APPROVAL

APPROVED FIRMS.....	58
ADDITIONAL FIRMS.....	59
PLAN APPROVAL PROCESS*	60

APPROVED FIRMS

The ARB has selected four architects, four general contractors, and four design-build firms to perform the work at Deerpath Farm. Each firm is aware of and supportive of the aesthetic and quality standards herein and their professional involvement will expedite the review and approvals process. A list of those firms is below:

ARCHITECTS

Frederick Phillips, FAIA
Frederick Phillips & Associates
1456 N. Dayton Street, Suite 200
Chicago, IL 60622
Telephone: (312) 255-0415
Fax: (312) 255-0446
<http://www.frederickphillips.com>

Jim Nagle, FAIA
Nagle Hartray Danker Kagan McKay Penney
30 W. Monroe Street, Suite 700
Chicago, IL 60603
Telephone: (312) 425-1000
Fax: (312) 425-1001
<http://www.nhdkm.com>

Margaret McCurry, FAIA
Tigerman McCurry Architects
444 North Wells Street
Chicago, IL 60610
Telephone: (312) 644-5880
Fax: (312) 644-3750
<http://www.tigerman-mccurry.com>

David Woodhouse, FAIA
David Woodhouse Architects
230 W. Superior Street
Chicago, IL 60610
Telephone: (312) 943-3120
Fax: (312) 943-3432
<http://www.davidwoodhouse.com>

LANDSCAPE ARCHITECT

Stephen Christy

1747 W. Carmen Avenue
Chicago, IL 60640
Telephone: (773) 710-5692
Fax: (847) 234-3963

GENERAL CONTRACTORS

Kim Eriksen
Eriksen Armstrong Builders
1045 Northwest Highway
Park Ridge, IL 60068
Telephone: (847) 692-6544
Fax: (847) 692-9913

Scott Simpson
Simpson Builders
1842 Kiest Avenue
Northbrook, IL 60062
Telephone: (847) 863-8603

John Tiedmann
Tiedmann Enterprises
28566 North Ballard Drive, Unit E
Lake Forest, IL 60045
Telephone: (847) 362-3222
Fax: (847) 362-1067

John Weiss
Weiss Enterprises
501 Bank Lane
Highwood, IL 60040
Telephone: (847) 266-8811

PREDESIGN MEETING*

DESIGN-BUILD FIRMS

Demari Development
 28835 N. Herky Drive, Unit 215
 Lake Bluff, IL 60045
 Telephone: (847) 362-8024
 Fax: (847) 362-8025
<http://www.demarihomes.com>

Rob Douglass, FAIA
 Lake Effect
 134 East Central Avenue
 Lake Bluff, Illinois 60044
 Telephone: (847) 234-4688
 Fax: (847) 234-8911
<http://www.leffect.com>

Lake Forest Landmark Development
 John R. Krasnodebski
 272 E. Deerpath
 Lake Forest, IL 60045
 Telephone: (847) 615-0637
 Fax: (847) 615-9116

Poulton Design Group
 Dave Poulton
 268 Market Square
 Lake Forest, IL 60045
 Telephone: (847) 615-1178
 Fax: (847) 615-1177
<http://www.poultongroup.com>

ADDITIONAL FIRMS

The ARB is open to the involvement of other firms either as buyers or as entities hired by buyers to design and build houses at Deerpath Farm, but they will be subject to thorough review and approval by the ARB. An understanding of and commitment to work within the requirements and provisions of the Deerpath Farm Pattern Book and within the spirit of the planning and architectural guidelines will, needless to say, expedite the review and approvals procedure. The ARB reserves the right to refuse the approval of any firm which is not willing or able to comply with the aesthetic and quality standards outlined in the Deerpath Farm Pattern Book.

PLAN APPROVAL PROCESS*

Buyers and their approved architects shall meet with the ARB **prior** to the commencement of design to review the design guidelines and the pattern book. The ARB will not consider any designs issued for approval prior to this Predesign Meeting.

CONCEPT PLANS AND CONSTRUCTION DOCUMENTS

Submission Requirements

- Site plan showing entire lot, setbacks, easements, buffers, trees and tree protection, driveway, outdoor spaces, utilities, contours
- Floor plans of each level (including basements, if applicable)
- Exterior elevations of each exterior face of the building
- Exterior lighting plan

Schedule of Submissions and Approvals

Buyers shall submit the above listed drawings to the ARB no later than 45 days after the date of a Lot Sale Contract. ARB will review and respond within two weeks.

BID SET CONSTRUCTION PLANS

Submission Requirements

- Bid Set of Construction Documents suitable for firm bid prices from contractors

Schedule of Submissions and Approvals

Buyer shall submit the Bid Set of Construction Documents no later than 60 days from the date of closing on the purchase of a lot. ARB will review and respond within two weeks.

FINAL CONSTRUCTION PLANS

Submission Requirements

- Entire Set of Final Construction Documents

Schedule of Submissions and Approvals

Buyer shall submit the entire set of Final Construction Documents to the ARB no later than 120 days from closing on the purchase of a lot. ARB will review and respond within two weeks.

* See page 66 for notes on changes made June 2006

REFERENCE

APPENDIX A – APPROVED MATERIALS.....62

APPENDIX B – PROHIBITED MATERIALS AND DETAILS.....63

GLOSSARY.....64

RIGHT TO AMEND.....65

ADDENDA.....66

APPENDIX A - APPROVED MATERIALS

Below is a list of approved materials. Use of these materials will expedite the review and approvals procedure. The ARB will consider other materials as long as they are not in APPENDIX B - PROHIBITED MATERIALS, page 55, and it reserves the right to deny usage of any which are, in its estimation, inconsistent with the aesthetic objectives of Deerpath Farm.

Siding

- Eastern White Grade A (extra) Cedar Shingles – 5" maximum exposure
- Hardiplank Lap Siding (smooth face only – 4" maximum exposure)
- Clear, heartwood, knotless square-edged Cedar or equivalent spec in other weatherproof wood
- Corrugated Galvalume or Cor-Ten steel panel siding (min. 1" deep groove)

Trim

- Finger-jointed trim board (Windsor One) primed and painted
- Clear, heartwood, knotless Cedar or equivalent spec in other weatherproof wood

Windows & Patio Doors (approved cos: Marvin, Pella, Loewen, Quantum, Duratherm, Zeluck)

- Weather-resistant wood, such as teak, mahogany, cypress
- Primed wood for paint
- Clad aluminum

Decks

- Alaskan Yellow Cedar
- Cedar
- Trex Deck

Roofing

- "5x" or "Perfection" #1 Blue Label Western Red Cedar Shingle (5 1/2" maximum exposure)
- Z-T alloy copper staining seam roof by Revere (Freedom Grey) or equivalent
- Galvalume standing seam, snap-lock panel, or corrugated (min. 1" deep groove) roofing
- Slate shingle

Stone

- Random Ashlar Lannon Stone (joint design and patterning to be closely reviewed)
- Pennsylvania Field Stone (joint design and patterning to be closely reviewed)
- Ledge Stone (joint design and patterning to be closely reviewed)

APPENDIX B - PROHIBITED MATERIALS AND DETAILS

- Shallow gabled roofs over primary volumes (All gables over primary volumes shall have a not-less-than 8:12 pitch and shall be symmetrical about the peak)
- Vinyl or aluminum siding, soffits, and trim
- Vinyl or vinyl-clad windows, doors, screen doors, and storm doors
- “V”-grooved siding (All flush siding shall be square-edged)
- Certain window muntin details; see Windows and Doors, pages 38-39
- Shutters
- Circular windows
- Arched window and door openings
- Metal halide, mercury vapor, high- or low-pressure sodium, fluorescent, LED, and fiber optic lighting
- Flood lights, except those temporarily illuminated only by an alarm connected to a residential security system
- Oversized cedar shakes (See APPENDIX A - APPROVED MATERIALS for approved cedar shingles)
- Colors on roofs other than those natural to the material, for example a Z-T alloy copper roof shall be a silver grey; Galvalume roof shall be a dull silver; a Perfection cedar roof shall be weathered grey
- Gutters and downspouts over areas other than points of entry, decks and patios and special cases where water volume is excessive* (Roofs may be required to drain to a continuous gravel drainage bed)* - and/or to a perforated PVC drain tile.
- Exterior railings on decks (All decks shall be no more than the code requirement to preclude the code-mandated need for railings)
- EIFS plastic stucco systems, such as Dryvit or equivalent
- Plastered stucco
- Brick
- Columns with decorated capitals and bases
- Circular columns
- Decorative trim, such as cornices, dentils, and crown moldings (Square-edged trim, beaded board, and quarter rounds, where appropriate, are permitted, subject to ARB approval)
- Beveled glass
- Raised panels on all exterior and garage doors; all panels shall be flat panels with square-edged stiles and rails
- Imitation stone such as “Cultured Stone” by Owens Corning
- Stone or concrete chimney caps thicker than 2-1/4”
- Mirrored and tinted glass in windows and doors

GLOSSARY

Allowable Floor Area

Heated, enclosed space measured to the outside plane of exterior walls, not including Cellars (as defined herein) but including Basements (as defined herein) one-half or more above Grade (as defined herein), and including any space in the Garage over the 850 square feet Garage exemption measured to the outside plane of exterior walls of the Garage.

Basement

A story partly underground, where one-half or more of the height of it, measured from finished floor of basement to finished floor of first floor, is above grade on all sides.

Break in the Wall Plane

Any interruption in the wall plane at least three feet, four inches deep and three feet, four inches wide which runs continuously vertically from Grade (as defined herein) to the intersection of wall and eave.

Building Height

The vertical distance measured from the highest point of backfilled grade in contact with the house vertically to the absolute highest exterior point of the peak of the highest roof.

Cellar

A story partly or entirely underground, where one-half or more of the height of it, measured from finished floor of basement to finished floor of first floor, is below grade on all sides.

Grade

The highest point of backfilled grade in contact with the house.

Primary volume

Single or two-story portions of the house which are dominant in volume to smaller connector or appended volumes.

Secondary volume

Single story or two-story connector or appended volumes secondary in volume to larger volumes.

RIGHT TO AMEND

The Deerpath Farm Architectural Review Board (ARB) reserves the right to amend the Deerpath Farm Pattern Book at any time without notice. Please check with the Architectural Review Board to obtain the most current version prior to preparation of architectural plans.

ADDENDA

The following changes were made to the Deerpath Farm Pattern Book on June 20th, 2006.

Page 12

- Lot Organization diagram from page 14 moved to page 12
- “10’ Utilities Easement” Removed
- “40’ Side Setback” Removed
- “50’ Rear Setback” Removed
- “30’ Landscape Buffer” changed to “30’ Natural Landscape Buffer”
- “50’ Conservation Easement” changed to “50’ Conservancy Easement”
- “40’ Conservancy Easement” added
- “50’ Front Setback” changed to “50’ Front Yard Setback”
- “40’ Side Setback” changed to “40’ Side Yard Setback”
- “Right of Way” added
- “Recommended Driveway Location” changed to “Driveway located in access shown on lot plan”

Page 13

- “No two-story volume shall exceed 41 feet (out to out) in the long dimension” changed to “No two-story volume shall exceed 44 feet (out to out) in the long dimension”

Page 14

- “Lot Development and Landscape Architecture” changed to “Lot Development”
- Paragraph revised:

Trees

All building sites contain outstanding, century-old hardwood trees worthy of saving. The ARB requires that all buyers walk their sites with an ARB-appointed arborist or Stephen Christy to determine, **before the commencement of design**, which trees shall be saved and which areas shall be left unbuilt for minimum disturbance of the larger landscape. Our recommended footprint configurations (later in this section) are designed, in part, to allow plans to work around the trees.”

- “Driveway surfacing shall be limited to asphalt, porous pavers, or “oil and chip” (gravel glued in place)” changed to “Recommended driveway surfacing includes gravel, stone pavers, stabilized aggregate or “oil and chip”. Asphalt is discouraged. The Driveway ‘lip’ may be of different material, however pillars, entry gates, or other decorative curb side treatments are discouraged.”

Page 16

- Page content added:

LANDSCAPE ARCHITECTURE

Nearly 140 of the 200 acres of Deerpath Farm have been preserved as permanent open space for the enjoyment of the residents. This open space is protected under a conservation easement to the Lake Forest Open Lands Association, which will

manage and maintain these lands as native landscapes.

Due to its long-term single ownership and some excellent past land management practices, Deerpath Farm is considered one of the best natural areas in the region. The developed portion of Deerpath Farm has been carefully crafted with extremely detailed planning, engineering, and installation of all improvements. Great care has been taken to lay out the lots in an attractive manner that also protects the trees and native landscape on them.

As with the houses, the landscape architecture at Deerpath Farm should be sympathetic to the larger, natural landscape and be **simple, honest, and in tune with nature**. Accordingly, all site development and planting designs should:

- show a familiarity with the native landscape of the area and reflect the use largely of native plants
- reflect an understanding of the hydrology of oak woodlands and the inevitable impacts that house construction and landscaping will create, and be able to mitigate for these impacts as much as possible
- endeavor to use hardscape materials (rocks, gravel, etc.) from local sources, reducing fuel and energy costs for transportation and delivery
- show familiarity with the use of rain gardens and other water recycling options
- show awareness of the parameters and management of the conservation easements, all under the supervision of Lake Forest Open Lands, and the natural landscape buffer that each lot has along the street
- understand the use of minimal lawn on the lots (including the use of fescue mixes for a woodland turf); underground sprinkling systems are prohibited
- understand that there is minimal, if any, use of fences, evergreens, and other traditional screening devices
- promote the use of rural driveway materials such as gravel, oil/chip, stone pavers and the like (asphalt discouraged; no stamped concrete or concrete brick)

The landscape architecture should present an esthetic which is informal and expressive of its country setting.

- “Driveway surfacing shall be limited to gravel, stone pavers, stabilized aggregate or “oil and chip”. Asphalt is discouraged. The Driveway ‘lip’ may be of different material, however no pillars, entry gates, or other decorative curb side treatments are discouraged.

Page 38

- Page content added:
 - Mirrored and tinted glass in windows and doors
 - Garage doors wider than 9 feet and taller than 9 feet

Page 40

- “Gutters and Downspouts over areas other than points of entry to residence, decks, and patios” changed to “Gutters and Downspouts over areas other than points of entry to residence, decks, and patios and special cases where water volume is excessive”
- “Any non-symmetrical gables. All gabled roofs shall be symmetrical about the peak” changed to “Any non-symmetrical gables. All gabled roofs shall be symmetrical about the peak on the end condition.”

Page 42 through 51

- Pages added

DETAILS AND MATERIALS - USE OF STONE

Use of Stone

- | | |
|---|--------------|
| • Approved Stone Applications | - page 42 |
| • Prohibited Stone Applications | - page 43 |
| • Examples of Approved Stone Applications | - page 44-47 |
| • Examples of Prohibited Stone Applications | - page 48-49 |
| • Approved Stone and Stone Patterns | - page 50 |
| • Prohibited Stone and Stone Patterns | - page 50 |
| • Stone Use Summary | - page 51 |

Page 54 (Previously Page 46)

- “No two-story volume shall exceed 21 feet (out to out) in the narrow dimension and 41 feet (out to out) in the long dimension” changed to “No two-story volume shall exceed 21 feet (out to out) in the narrow dimension and 44 feet (out to out) in the long dimension”
- “Skylights are prohibited on gable and shed roofs. (Skylights permitted on flat roofs only.)” changed to “The design guidelines prohibit the use of skylights except in rare cases where windows are not possible for natural light. The ARB will closely review specific requests for skylights.”
- “Minimum pitch of a gabled roof over a primary volume shall be 8:12, and gable shall be centered on the peak.” changed to “Minimum pitch of a gabled roof over a primary volume shall be 8:12, and gables shall be symmetrical about the peak on the end condition.”

Page 57 (Previously Page 49)

- “Concept Plans and Construction Documents” changed to “Plan Approvals Process”

Page 60 (Previously Page 52)

- Page content added
 - Plan Approval Process
 - Predesign Meeting
 - “Buyers and their approved architects shall meet with the ARB prior to the commencement of design to review the design guidelines and the pattern book. The ARB will not consider any designs issued for approval prior to this Predesign Meeting.”

Page 63 (Previously Page 55)

- Page content added
 - “Imitation stone products such as “Cultured Stone” by Owens Corning”
 - “Stone or concrete Chimney caps thicker than 2-1/4”
 - “Mirrored or tinted glass in windows and doors”

- “Gutters and downspouts over areas other than points of entry, decks and patios (Roofs shall drain to a continuous gravel drainage bed) - and/or to a perforated PVC drain tile.” changed to “Gutters and downspouts over areas other than points of entry, decks and patios and special cases where water volume is excessive (Roofs may be required to drain to a continuous gravel drainage bed) - and/or to a perforated PVC drain tile.”

